



* £260,000- £280,000 * SHARE OF FREEHOLD WITH LOW RUNNING COSTS * Located in the highly sought-after Chalkwell Park Drive, this impressive first-floor flat offers the perfect blend of modern living, generous space, and unbeatable convenience. With two large double bedrooms, this extra-spacious home is ideal for couples, young families, or anyone seeking a comfortable retreat by the sea. At the heart of the property is the bright and airy open-plan lounge/diner, which flows seamlessly into a contemporary fully fitted kitchen. Complete with integrated appliances, this stylish space is perfect for entertaining or enjoying quiet evenings at home. The modern bathroom is thoughtfully designed with both elegance and practicality in mind, offering a relaxing space to unwind. Step outside and enjoy the beautifully maintained, west-facing communal rear gardens- a peaceful spot for relaxing in the sun or enjoying a cup of coffee. The flat also benefits from its own garage in a private block, providing secure parking or valuable storage space. The location is second to none. Just moments from the vibrant Leigh Road and Leigh Broadway, you'll have easy access to a fantastic selection of independent shops, cafés, and restaurants. Enjoy leisurely strolls in Chalkwell Park, or head down to the beachfront, both within comfortable walking distance. Commuters will appreciate the short walk to Chalkwell Station, offering direct rail links to London Fenchurch Street. This is a rare opportunity to secure a spacious, stylish home in one of Leigh-on-Sea's most desirable areas.

- Bright and spacious first floor flat
- West facing communal garden
- Modern fully fitted kitchen with integrated appliances
- Generously sized lounge-diner open to the kitchen
- Share of freehold and minimal running costs
- Garage in block to the rear
- Two double bedrooms
- Stylish three-piece bathroom suite
- Share of freehold
- No onward chain

Chalkwell Park Drive

Leigh-on-Sea

£260,000

Price Guide



Chalkwell Park Drive



Frontage

Attractive communal front garden areas with path leading to your own front door giving access to:

Entrance Hallway

5'4" x 3'2"

UPVC obscured double glazed entrance door to the front, grey inset coconut carpet, storage cupboard housing the utility meters, grey carpeted stairs leading to the first floor.

'L' Shaped Hallway

Smooth ceiling with a pendant light, your own loft access, electric storage heater, carpet.

Bathroom

7'2" > 5'8" x 6'0"

Smooth ceiling, extractor fan, paneled bath with an electric shower over, pedestal wash basin, mirrored bathroom cabinet, wall hung chrome heated towel rail, low-level WC, part tiled walls, lino flooring.

Bedroom One

13'0" > 10'2" x 10'7"

Smooth coved ceiling with a pendant light, double glazed windows to the rear overlooking the garages and the communal garden, electric storage heater, carpet, built-in wardrobe with shelving and a hanging rail, additional cupboard housing the water tank with a box above.

Bedroom Two

9'10" x 9'4"

Smooth ceiling with a pendant light, double glazed window to the rear overlooking the garage and the communal garden, electric storage heater, carpet.

Lounge-Diner

17'9" x 11'9"

Smooth ceiling with a pendant light, double glazed windows to the front with the bottom window obscured for privacy. electric storage heater, carpet, opening to:

Fitted Kitchen

11'2" x 7'0"

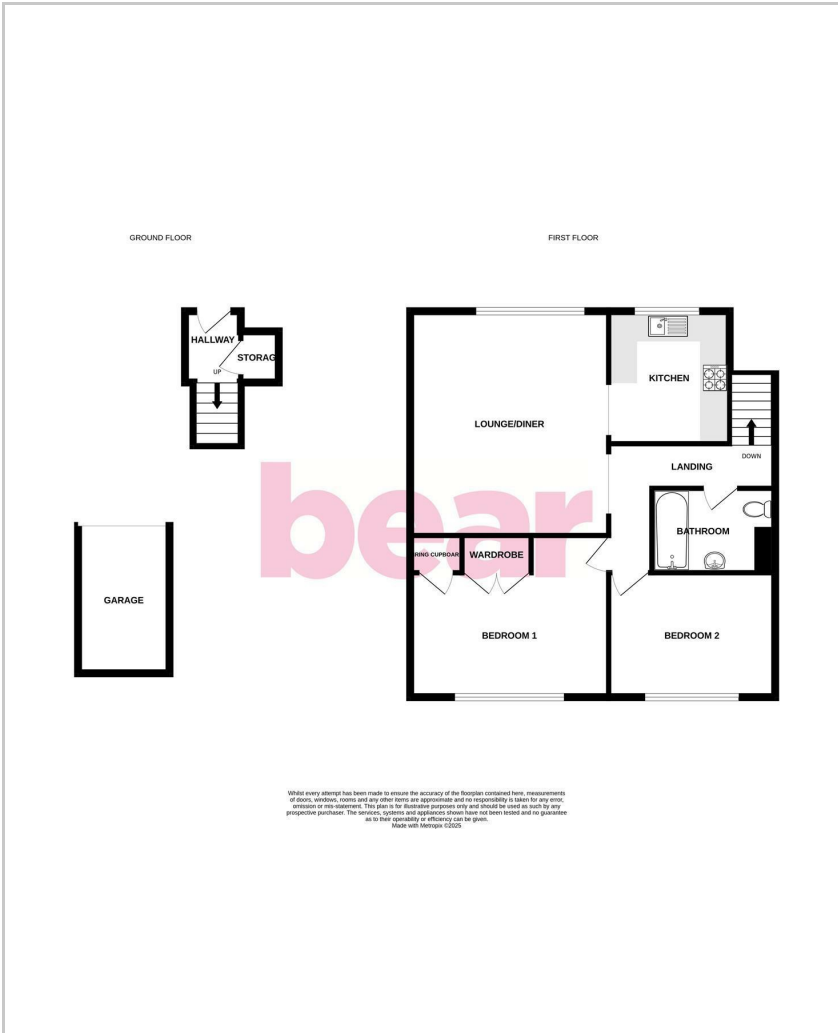
Smooth ceiling, double glazed window to the front with a fitted roller blind, modern white gloss kitchen comprising of; wall and base level units with a square edge laminate worktop, stainless steel sink and drainer with a chrome mixer tap, integrated oven and grill with a four ring induction hob and an extractor fan above, integrated fridge freezer on a 70/30 split, space for a washing machine, integrated dishwasher, tiled splashbacks, lino flooring.

Exterior

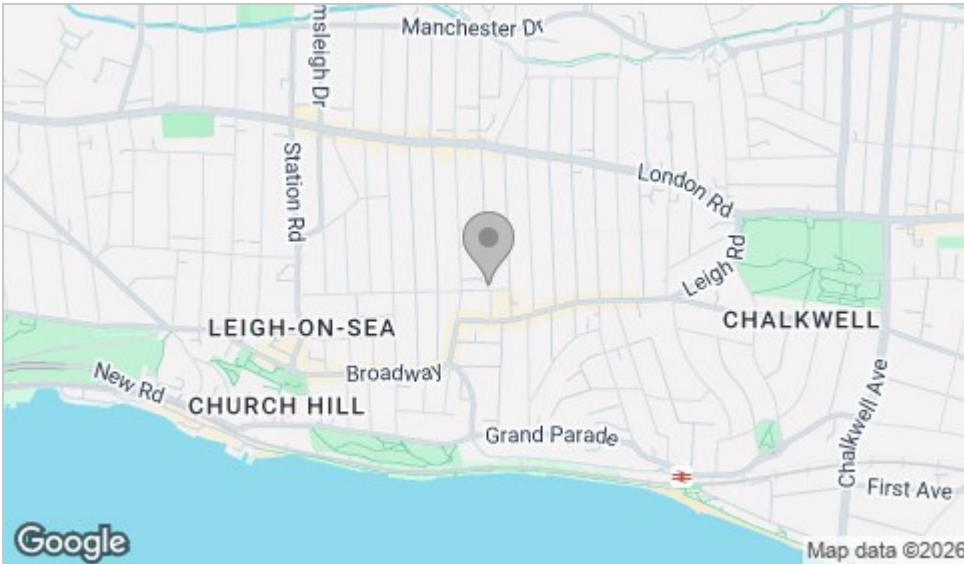
Garage in a block (4.83m x 2.40m), shelving, work bench, concrete base up and over door to the front, west backing communal garden, concrete base patio with the remainder laid to lawn, flower and shrub borders.



Floor Plan



Area Map



Viewing

Please contact our Leigh-on-Sea Office on 01702 887 496 if you wish to arrange a viewing appointment for this property or require further information.

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Energy Efficiency Graph

